



# Solano County

675 Texas Street  
Fairfield, California 94533  
www.solanocounty.com

## Agenda Submittal

**Agenda #:** 3 **Status:** PC-Regular  
**Type:** PC-Document **Department:** Planning Commission  
**File #:** PC 24-021 **Contact:** Abigail Pipkin  
**Agenda date:** 08/15/2024 **Final Action:**

**Title:** Conduct a noticed public hearing to consider Use Permit application No. U-24-07 by Nicholas Stevens of American Asphalt for a General Cottage Industry Type II home-based business, and to allow for accessory buildings in aggregate, greater than 5,000 sf on lots over four (4) acres in the Rural Residential (RR-5) zoning district, located at 4585 Pace Lane, approximately two (2) miles north of the City of Vacaville, APN 0106040140. The project is exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15303.

**Governing body:** Planning Commission  
**District:**  
**Attachments:** [A - Draft Resolution & Conditions of Approval](#), [B - Assessors Parcel Map](#), [C - Project Location Map](#), [D - Site Plan](#), [E - Project Description](#), [F - Floor Plan w/Business Use](#), [G - Elevation Plans](#), [H - Accessory Structure Calculation](#), [I - B2019-0022 Site Plan](#), [J - Existing Structures Compliance](#), [K - Drainage Memo and Stormwater Mgt Plan](#), [L - Private Road Maint. Agreement](#), [M - Zoning Consistency Standards Eval.](#), [N - Public Notice](#)

Date:	Ver.	Action By:	Action:	Result:
Public Hearing Required?		Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Public Notice Required?		Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		

### **DEPARTMENT RECOMMENDATION:**

The Department of Resource Management recommends that the Planning Commission:

1. Conduct a noticed public hearing to consider Use Permit Application U-24-07; and
2. Adopt a resolution approving Application No. U-24-07 subject to the findings and conditions of approval contained in Attachment A.

### **I. SUMMARY:**

The applicant, resident, and property owner Nick Stephens proposes a General Cottage Industry Type II home-based business for American Asphalt, a contractor that installs asphalt purchased from asphalt plants on the day of the project. In addition, he proposes to construct a 3,840 sf barn to store vehicles and equipment related to his business. The remaining area of the space will be devoted to 12-20 sheep with feed. The total existing and proposed accessory buildings on the property total 5,912 sf and require approval of the use permit. The project is conditioned to comply with the Cottage Industry General Type II standards of the zoning code in order to minimize nuisances and environmental impacts.

## **BACKGROUND**

The county received a complaint regarding drainage issues from the property. The property, historically, experienced water ponding and off-site drainage impacts to adjacent properties. Public Works investigated the concern (CC-VIOL-23-06720) and required the applicant to address the issues. The applicant's engineer, Brad Foulk, recommended minor re-grading of the site and use of an existing low wall to act as a barrier that would retain water onsite. Public Works engineers reviewed the information and are satisfied with the recommendations. Refer to Attachment K for the Memo, Storm Water Management Plan, and photographs.

While on-site investigating the grading issues, County staff observed the unpermitted business activity, including the outdoor storage of trucks and other equipment for American Asphalt, and required the applicant to apply for a Use Permit to comply with the zoning regulations in order to continue operating.

## **LOCATION**

The project is located at 4585 Pace Ln, two (2) miles north of the City of Vacaville, approximately one (1) mile west of Highway 505 in the Rural residential RR-5 zoning district. Access to the site is via Pace Ln (private) from Timm Road (public).

## **II. PROJECT DESCRIPTION:**

The applicant, resident, and property owner Nick Stephens proposes a General Cottage Industry Type II home-based business for American Asphalt, a contractor that installs asphalt purchased from asphalt plants on the day of the project. No asphalt materials will be produced on the property. Two (2) employees will enter the property to retrieve and return the trucks and leave within 15 minutes of running time three (3) days a week. No retail sales will occur on the premises, no customers will enter the property, and no signs related to the business are proposed.

In addition, the applicant proposes to construct a new accessory building totaling 3,840 sf in size to store two (2) 24-ton dump trucks with attached trailers within a 2,400 sf section of the proposed accessory structure. The remaining 1,440 sf of storage in the structure is separated by a wall and will be used to store 12-20 sheep with feed per Attachment F.

There are four existing accessory structures on the property including a 864 sf detached garage, a 900 sf carport, a 208 sf shipping container, and a 100 sf shed (Attachment H), totaling 2,072 sf. Approval of the new accessory structure would increase the accessory structure square footage to 5,912 sf (Attachment H).

The 900 sf carport (B2019-0022) was approved in compliance with zoning setback requirements of ten feet but was built within the setback. The project is conditioned to relocate the workshop to meet the minimum 10-foot rear yard setback requirement, or the applicant may apply for a variance to deviate from the setback .

Additional water and sewer services are not required for the accessory structure.

## **III. ANALYSIS:**

### **A. General Plan Consistency**

The project is proposed on land designated Rural Residential by the Solano County General Plan Land Use Diagram. The project as designed and conditioned is consistent with General Plan goals and policies including, but not limited to, those related to public safety and emergency response, protection of scenic

resources, and land use development.

## **B. Zoning Consistency**

The subject property is located within the Rural Residential "RR-5" zoning district. This district requires the issuance of a Use Permit to authorize General Cottage Industry business activity subject to conditional approval by the Planning Commission, and Minor Use Permit approval by the Zoning Administrator for accessory structures larger than 5,000 square feet in aggregate. The minor use permit required for large accessory structures is included in this Use Permit.

General Cottage Industry Type II is intended to allow for commercial uses that are clearly incidental and subordinate to the use of the premises for residential purposes. Only a resident-occupant of an existing on-site primary residence may operate a cottage industry. Cottage industries shall not produce evidence of their existence in the external appearance of the dwelling, accessory structures, or premises. The proposed barn will be located at the back of the property, and not visible from the street. Business-related equipment and activities will take place inside the 2,400 sf section of the barn, so as to maintain the rural character of the surrounding neighborhood. Refer to Attachment M for a complete evaluation of all applicable standards.

The proposed project complies with all applicable zoning requirements with the incorporation of conditions of approval.

## **C. Environmental Determination**

The Department of Resource Management is recommending that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). The New Construction or Conversion of Small Structures exemption consists of the construction and location of limited numbers of new, small facilities or structures, and the installation of small new equipment and facilities in small structures. The guidelines state examples including, but not limited to, utility extensions and appurtenant structures.

The project consists of installing a 3,840 sf accessory structure and use of the property for home-based business. There is no evidence in the record that the project would result in substantial, or potentially substantial, adverse environmental changes to any of the physical conditions within the area, including land, air, water, minerals, flora, fauna, ambient noise, or objects of historic or aesthetic significance. It has been determined that the project is not in an environmentally sensitive location, is not on a hazardous waste site, will not cause substantial change in the significance of a historical resource, and will not result in damage to scenic resources within a scenic highway. Staff therefore recommends that the project be found categorically exempt from CEQA under CEQA Guidelines Section 15303.

## **D. Public Notice**

Consistent with Sections 28.106 and 28.04 of the Solano County Code, a public hearing notice was published in the Daily Republic and the Vacaville Reporter at least 15 days prior to the public hearing.

## **E. Agency Review**

As part of the Department of Resource Management development review process, the application materials have been reviewed by the County Development Review Committee as well as the Dixon Fire Department and California Highway Patrol. Recommended conditions of approval have been incorporated into the attached Resolution.

**ATTACHMENTS:**

- A** - Draft Resolution & Conditions of Approval
- B** - Assessor's Parcel Map
- C** - Project Location Map
- D** - Site Plan
- E** - Project Description
- F** - Floor Plan with Described Business Use
- G** - Elevation Plans
- H** - Parcel Accessory Structure Calculation
- I** - B2019-0022 Site Plan
- J** - Existing Structures Compliance
- K** - Drainage Memo and Stormwater Management Plan
- L** - Private Road Maintenance Agreement
- M** - Zoning Consistency Standards Evaluation
- N** - Public Notice

## SOLANO COUNTY PLANNING COMMISSION RESOLUTION NO. xxxx

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**WHEREAS**, the Solano County Planning Commission has considered Use Permit Application No. U-24-07 by Nicholas Stevens of American Asphalt for a General Cottage Industry Type II home-based business, and to allow for accessory buildings totaling greater than 5,000 sf on lots over four (4) acres in the Rural Residential (RR-5) zoning district, located at 4585 Pace Lane, approximately two (2) miles north of the City of Vacaville, APN 0106-040-140; and

**WHEREAS**, said Planning Commission has reviewed the report of the Department of Resource Management and heard testimony relative to the subject application at the duly noticed public hearing held on August 15, 2024; and

**WHEREAS**, after due consideration, the Planning Commission has made the following findings regarding said proposal:

- 1. The establishment, maintenance, or operation of the proposed use is in conformity with the County General Plan with regard to traffic circulations, population densities, and distribution, and other aspects of the General Plan considered by the Zoning Administrator or Planning Commission to be pertinent.**

The zoning of the property, along with the existing use and proposed modifications is consistent with the goals, objectives, and policies of the Solano County General Plan concerning Rural Residential land use designation.

- 2. Adequate utilities, access roads, drainage, and other necessary facilities have been or are being provided.**

Existing external access to the site is via Pace Ln. The site has existing electrical power, a well, and a septic system with approved permits. The building plans will be reviewed and approved by the Solano County Building and Safety Division before a building permit is issued.

- 3. The subject use will not, under the circumstances of the particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in or passing through the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

As conditioned, the proposed Type II General Cottage Industry and 5,912 sf of accessory structures in total will not constitute a nuisance to surrounding properties, nor will they be detrimental to the health, safety, or welfare of County residents. The use is clearly incidental and subordinate to the use of the premises for residential purposes.

- 4. The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303, New Construction or Conversion of Small Structures. A Notice of Exemption shall be filed with the State Clearinghouse and Clerk of the Board.**

The CEQA Guidelines Section 15303 (Class 3) exemption consists of the construction and location of limited numbers of new small facilities, equipment, and structures, and installation of small new equipment and facilities in small structures.

The project consists of constructing a 3,840 sf accessory structure. There is no evidence in the record that the project would result in substantial, or potentially substantial, adverse environmental changes to any of the physical conditions within the area, including land, air, water, minerals, flora, fauna, ambient noise, or objects of historic or aesthetic significance. It has been determined that the project is not in an environmentally sensitive location, is not on a hazardous waste site, will not cause substantial change in the significance of a historical resource, and will not result in damage to scenic resources within a scenic highway.

**BE IT THEREFORE RESOLVED**, that the Planning Commission has approved Use Permit Application No. U-24-07, subject to the following recommended conditions of approval:

#### **ADMINISTRATIVE**

1. **Land Use.** Approval is hereby granted to Nick Stevens. The Solano County Planning Commission has considered Use Permit Application No. U-24-07 for a General Cottage Industry Type II home-based business, and to allow for accessory buildings totaling greater than 5,000 sf on lots over four (4) acres in the Rural Residential (RR-5) zoning district. The development is in accord with the application materials and development plans submitted with Use Permit Application U-24-07 on March 31, 2024, and additional information submitted on May 22, 2024, as approved by the Solano County Planning Commission.
2. **Accessory Structure.** The use of the 3,840 square foot accessory building shall be limited to storage of home-based business vehicles and agricultural equipment or vehicles.
3. **Permit Term.** This Use Permit shall be in effect for a five (5) year period with the provision that a renewal may be granted if said request is received prior to the expiration date and the uses remain the same and in compliance with the Conditions of Approval.
4. **Renewal.** The permit term may be renewed administratively by the Zoning Administrator upon verification of the permit holder's continued compliance with the findings and conditions of approval. A Land Use Renewal application shall be submitted to the Planning Services Division prior to the expiration of the permit term.
5. **Revisions or Modifications in Land Use.** No additional land uses or activities for new or expanded buildings shall be established beyond those identified on the approved development plan submitted on March 31, supplemental information submitted on May 7, 2024, and detailed within the project description, without prior approval of a revision, amendment, or a new use permit and subsequent environmental review.
6. **Indemnification.** By acceptance of this permit, the permittee and its successors in interest agree that the County of Solano, its officers, and employees shall not be responsible for injuries to the property or persons arising from the issuance or exercise of this permit. The permittee shall defend, indemnify, and hold harmless the County of Solano, its officers, and employees from all claims, liabilities, losses, or legal actions arising from any such injuries. The permittee shall reimburse the County for all legal costs and attorney fees related to litigation based on the issuance and/or interpretation of this permit. This agreement is a covenant that runs with the land and shall be binding on all successors in the interest of the permittee.
7. **Fire District.** The permittee shall comply with the Dixon Fire Protection District requirements.

**PLANNING**

- 8. **Setbacks.** The 900 sf. carport located at the northeast corner of the parcel permitted by B2019-0022 shall be setback a minimum of 10 feet from the rear property line, consistent with the approved Site Plan, or secure approval of a Variance.
- 9. **General Cottage Industry.** In accordance with section 28.72.40 (f) of the Solano County Code, the project shall operate in accordance with the applicable standards required of a General Cottage Industry:
  - a. **Employees.** No more than three employees may work on the premises in addition to the members of the family residing on the premises. This limitation applies to all employees who enter the property daily, even if they work primarily at off-site locations.
  - b. **Scope of Operation.** The total area occupied by the cottage industry, including vehicles, equipment, office space, and storage, shall not exceed 3,000 sf on the property. All cottage industry activities and operations shall be conducted within an enclosed structure.
  - c. **Parking.** The operator of the cottage industry shall provide sufficient on-site parking to accommodate both customers and employees. One (1) work vehicle belonging to the operator and three (3) personal employee vehicles may be parked in public view. This parking area shall not count toward the 3,000 sf limitation.
  - d. **Access.** The operator shall continue to participate in a road maintenance agreement to ensure adequate access to the site via private road.
  - e. **Nuisance.** There shall be no noise, glare, vibration, or fumes in excess of that which is customarily generated by single-family residential uses in the neighborhood.
  - f. **Large Vehicles.** A maximum of three large vehicles (between 14,001 pounds and 26,000 pounds), and one trailer per large vehicle may be kept on the property and must be stored within the enclosed building associated with the cottage industry. Storage of large vehicles shall be counted as part of the square footage of the cottage industry.
  - g. **Signage.** Signage associated with the cottage industry is not to exceed one nonilluminated sign of four (4) sf.

**BUILDING AND SAFETY**

- 10. **Building Permits.** The applicant shall apply for, secure, and abide by the conditions of a Building Permit for the proposed structure, as well as the unpermitted structure with an electrical connection on the northeastern corner of the parcel.
- 11. **Fire Sprinkler.** A Fire Sprinkler Construction permit shall be issued by the Fire Department prior to the construction of the accessory structure.

Action Required	When	Verified by	Date
File building permit application	Prior to construction		
Fire Sprinkler Construction Permit	Prior to construction		

**ENVIRONMENTAL HEALTH**

**12. Hazardous Materials Business Plan.** The facility shall create a Hazardous Materials Business Plan (HMBP) on the online California Environmental Reporting System (CERS) if it handles, stores, or uses hazardous materials in reportable quantities onsite. Reportable quantities of hazardous material are equal to or greater than 55 gallons of liquids, 200 cubic feet for gases, 500 lbs. for solids. The Hazardous Materials Business Plan (HMBP) consists of facility information, hazardous materials inventory, site diagram, emergency response plan, and an employee training plan.

**13. Onsite Water Treatment System.** The facility shall continue to operate and maintain the existing alternative onsite wastewater treatment system (OWTS) in accordance with Solano County Code Ch. 6.4. Records indicate that the OWTS system is under County Operation and Maintenance permit #805271. The facility shall submit annual reporting and once every three-year professional maintenance reports, as specified under Solano County Code Ch. 6.4-56.

Action Required	When	Verified by	Date
Submit HMBP to CERS	Within 30 days of bringing reportable quantities of hazardous materials onsite		
Submit annual OWTS monitoring reports	Annually		
Submit once every three years professional OWTS maintenance report	Every three (3) years		

**14. Business License.** The permittee shall obtain a business license associated with the Cottage Industry operation prior to the issuance of the Certificate of Occupancy for the proposed accessory building.

Action Required	When	Verified by	Date
Apply and secure business license	Prior to issuance of the Certificate of Occupancy		

**15. Failure to Comply.** Failure to comply with any of the conditions of approval or limitations set forth in this permit shall be cause for the revocation of the Use Permit and cessation of the permitted uses at the Permittee’s expense.

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I hereby certify that the foregoing resolution was adopted at the regular meeting of the Solano County Planning Commission on August 15, 2024, by the following vote:

AYES: Commissioners \_\_\_\_\_

\_\_\_\_\_

NOES: Commissioners \_\_\_\_\_

\_\_\_\_\_

ABSTAIN: Commissioners \_\_\_\_\_

\_\_\_\_\_

ABSENT: Commissioners \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Paula Bauer, Chairperson  
Solano County Planning Commission

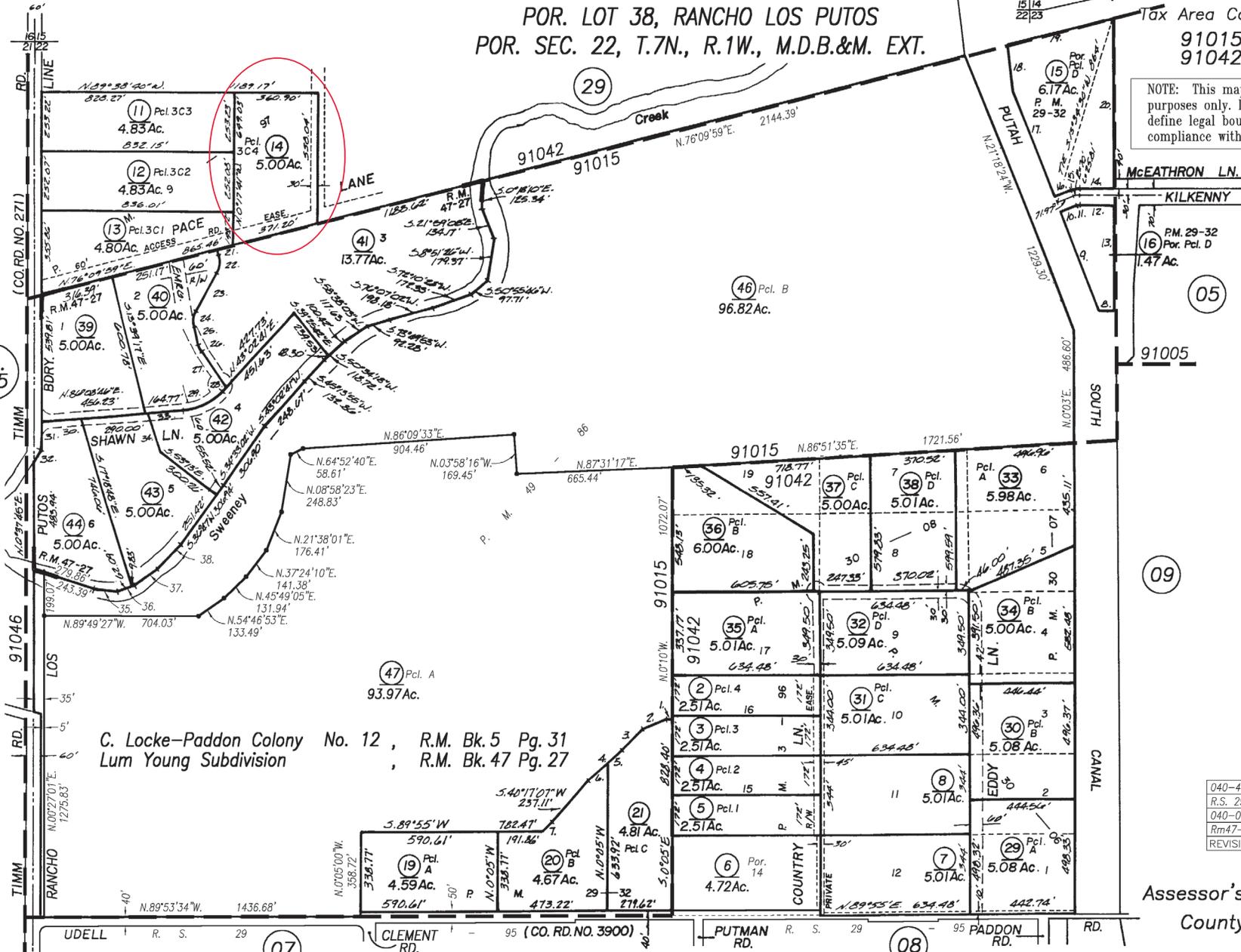
Attest:

By: \_\_\_\_\_  
James Bezek, Secretary

POR. LOT 38, RANCHO LOS PUTOS  
POR. SEC. 22, T.7N., R.1W., M.D.B.&M. EXT.

Tax Area Code **106-04**  
91015  
91042

NOTE: This map is for assessment purposes only. It is not intended to define legal boundary rights or imply compliance with land division laws.



1.	S.89°50'W.	16.45'
2.	S.66°00'05"W.	115.04'
3.	S.45°12'57"W.	141.26'
4.	S.49°14'21"W.	191.18'
5.	S.49°14'21"W.	74.36'
6.	S.49°14'21"W.	116.82'
7.	S.45°32'04"W.	54.83'
8.	N.89°55'54"E.	42.50'
9.	N.21°00'16"W.	489.45'
10.	N.68°59'44"E.	66.14'
11.	R=30'	L= 11.06'
12.	N.89°52'46"W.	144.80'
13.	S.0°04'06"E.	482.27'
14.	N.89°52'46"W.	144.57'
15.	R=100'	L= 36.87'
16.	N.68°59'44"E.	66.14'
17.	N.21°00'16"W.	532.46'
18.	N.6°19'57"W.	175.25'
19.	N.73°36'42"E.	470.76'
20.	S.0°04'06"E.	774.04'
21.	S.13°39'17"E.	27.22'
22.	R=100'	L= 72.67'
23.	S.27°58'56"W.	185.66'
24.	R=100'	L= 72.67'
25.	S.13°39'17"E.	73.99'
26.	R=100'	L= 35.59'
27.	S.34°02'44"E.	182.02'
28.	N.43°02'41"E.	23.90'
29.	R=250'	L= 188.07'
30.	N.86°08'46"E.	177.90'
31.	N.0°37'45"E.	89.99'
32.	N.30°06'10"E.	61.02'
33.	N.86°08'46"E.	153.10'
34.	S.17°18'48"E.	147.48'
35.	N.84°25'35"W.	109.91'
36.	S.72°41'12"W.	71.92'
37.	S.52°02'42"W.	118.71'
38.	S.45°47'30"W.	149.73'

040-46&47 (Pm)	11-17-10	JS
R.S. 29-95	10-21-10	Cr
040-06Chg Dd	1-24-01	FG
Rm47-27	9-18-86	DJ
REVISION	DATE	BY

C. Locke-Paddon Colony No. 12 , R.M. Bk. 5 Pg. 31  
Lum Young Subdivision , R.M. Bk. 47 Pg. 27

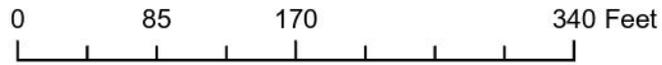
Assessor's Map Bk. 106 Pg. 04  
County of Solano, Calif.

Assessor's Block Numbers Shown in Ellipses, Assessor's Parcel Numbers Shown in Circles

# U-24-07 Use Permit - American Asphalt General Cottage Industry



**APN 0106-040-140: 4585 Pace Ln, Vacaville, CA 95688**





Leach Field

aprx. 100'

aprx. 125'

Existing carport

Storage container

Proposed Structure  
80' x 48'

aprx. 125'

aprx. 160'

aprx. 140'

Driveway

Solar Panels

0106  
040  
140

Power Pole

Driveway

Septic Tank

Well

Secondary Dwelling

Primary Dwelling

Garage

Entrance

Entrance

Pace Ln

4585 PACE LN

Pace Ln

**Nick Stevens**  
4585 Pace Lane  
Vacaville, CA 95688

4/23/2024

**Solano County Planning Department**

**RE: MU-24-04**

Here is the information that was requested by Travis Kroger on the above date.

The new structure will be used by American Asphalt Co. to park two (2) trucks with trailers connected to them. We will also store feed for my animals and have shelter needs for them as well.

American Asphalt is Construction Company that installs asphalt that they purchase from asphalt plants the day of the project. There is no asphalt materials produced on the property.

The trucks and trailers that will be parked in the structure will be used 3 days a week and will be started up and then leave the property within 15 minutes of running time. The subject property is located on Pace Lane and is the first lot on the north side so the trucks do not pass any of the neighbors' homes when coming or going.

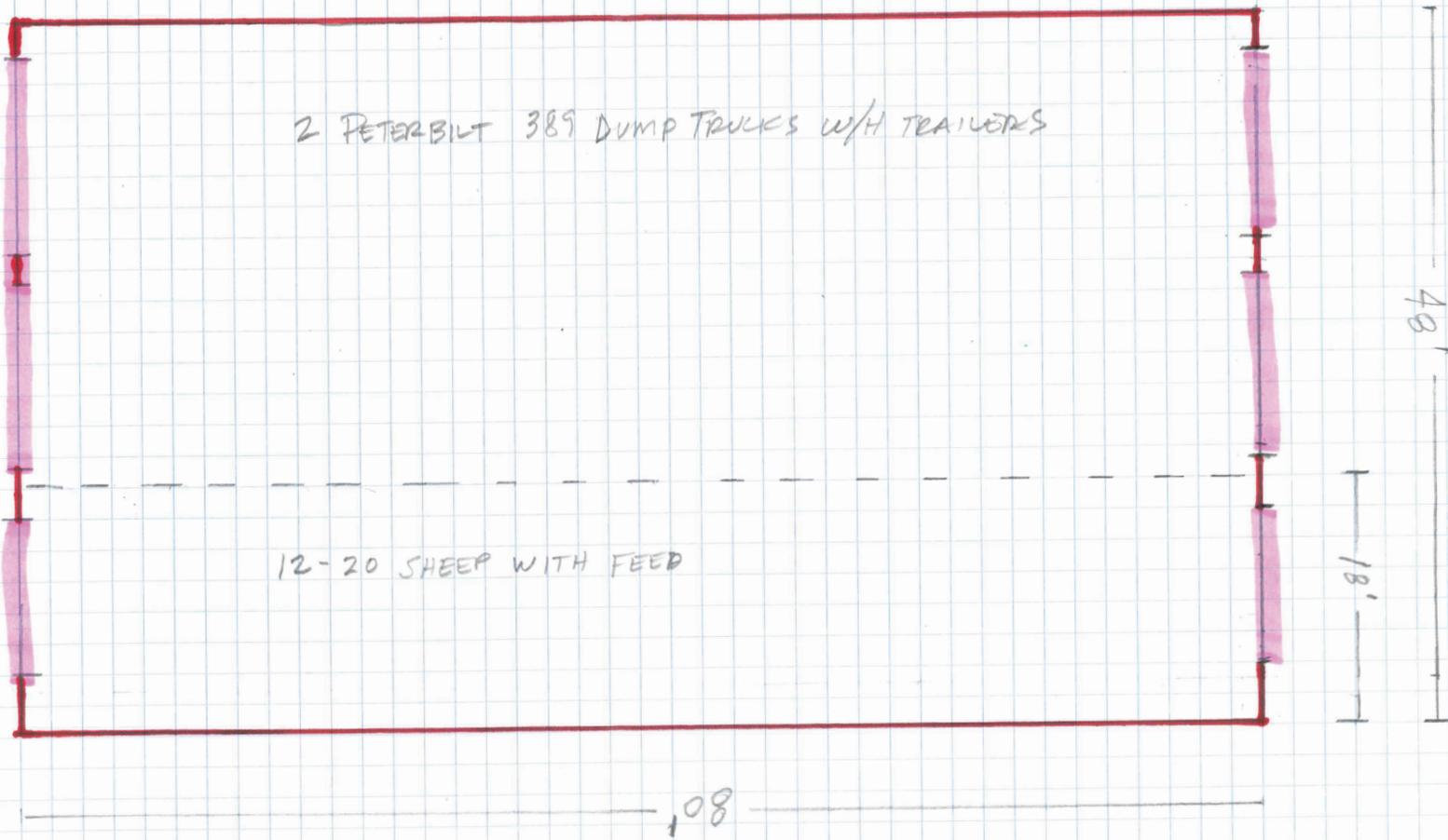
I am the owner of the property and I am the only one that works for American Asphalt that lives on the property. The truck drivers show up and drive the trucks off the property and all other employees meet at job sites.

I hope this clarifies your concerns.

Thank you,



**Nick Stevens**



3840-2

SCALE 1/4" = 2'

STEVENS AG BUILDING  
4585 PALE LANE  
VACAVILLE, CA 95688  
MU-24-04

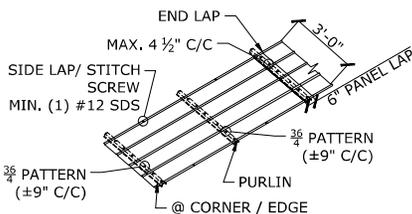
5/6/20

**SCOPE OF WORK**

- TO PROVIDE STRUCTURAL DESIGN FOR THE PRE-FAB METAL BUILDING PER THE SPECIFIED DESIGN LOADS, AND APPLICABLE BUILDING CODES. ANY DISCREPANCIES IN DESIGN LOADS SHALL BE BROUGHT TO THE ATTN. OF THE ENGINEER OF RECORD.
- DOES NOT PROVIDE ANY ARCHITECTURAL, SITE, ZONING, HVAC, ELEC, MECH DESIGN OR REQUIREMENTS. THESE ITEMS MUST BE ADDRESSED BY THEIR RESPECTIVE PROFESSIONALS IN CHARGE.**

**STRUCTURAL DESIGN CRITERIA**

PREVAILING CODE:	UBC (IBC 2021)
USE GROUP:	S (STORAGE)
CONSTRUCTION TYPE:	II - B
RISK CATEGORY:	II
BUILDING FOOTAGE:	3840 SQ-FT
DEAD LOAD (D)	
COLLATERAL LOAD	2.00 PSF
ROOF LIVE LOAD	Lr = 20.00 PSF
SNOW LOAD (S)	
GROUND SNOW LOAD	Pg = 7.00 PSF
IMPORTANCE FACTOR	Is = 1.0
THERMAL FACTOR	Ct = 1.2
EXPOSURE FACTOR	Ce = 1.0
ROOF SLOPE FACTOR	Cs = 1.0
FLAT ROOF SNOW LOAD	Pf = 5.88 PSF
SLOPED ROOF SNOW LOAD	Ps = 5.88 PSF
WIND LOAD (W)	Vult = 95 MPH
DESIGN WIND SPEED	
EXPOSURE	C
SEISMIC LOAD (E)	
SS	1.420
S1	0.440
SDs	1.120
SD1	0.740
DESIGN CATEGORY	D
SITE CLASS	D (DEFAULT)
IMPORTANCE FACTOR	Ie = 1.0



**SHEATHING FASTENER PATTERN**  
SCALE: 1/4" : 1'

CODE	CONTENT
S-1	-SPECIFICATIONS
S-2	-END WALLS ELEVATIONS
S-3	-FRAME SECTIONS & DETAILS
S-4	-FOUNDATION PLAN
S-5	-SIDE WALLS ELEVATIONS & DETAILS
S-6	-FRAME LAYOUT PLAN
S-7	-FRAME END ELEVATIONS
S-8	-SIDE FRAME ELEVATIONS
S-8	-DETAILS

**STRUCTURAL DESIGN NOTES**

- ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH UBC 2021, IBC 2021, ASCE7-22, OSHA, AISC 360, AISI 100, AWS D1.3 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
- BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON FOUNDATIONS DETAILS SHEET.
- ALL MATERIALS IDENTIFIED BY A MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
- ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS. NO FIELD WELDING IS REQUIRED.
- ALL STRUCTURAL FIELD CONNECTIONS SHALL BE #12-14 x 1" SDS (ESR-2196) OR APPROVED EQUAL.
- STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80 KSI) OR EQ.
- SHEATHING CONNECTIONS SHALL BE #12-14 x 3/4" SDS. NEOPRENE WASHERS ARE REQUIRED.
- ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE ASTM A653 (HSLA) GRADE 50 STEEL (FY = 50 KSI, Fu = 65 KSI) OR EQUAL.
- STRUCTURAL TUBE TS 2 1/2" x 2 1/2" x 14GA (0.083") IS EQUIVALENT TO TS 2 1/4" x 2 1/4" x 12GA (0.109") AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
- 12GA IS DEFINED AS 0.109" THICKNESS. 14GA IS DEFINED AS 0.083" THICKNESS. 26GA IS DEFINED AS 0.019" THICKNESS, 29GA IS DEFINED AS 0.015" THICKNESS.
- GYPSUM BOARD OR DRYWALL FINISH OR ANY BRITTLE BASE MATERIAL IS NOT CONSIDERED OR ACCOUNTED FOR ON THE DESIGN CRITERIA OF THIS STRUCTURE, U.N.O.

**LEGEND**

- (WD) WALK-IN DOORS (REF. DOOR MFG)
- (WN) WINDOWS

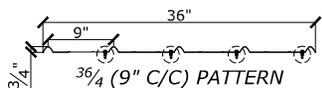
**NOTE:** ANY DOOR OR WINDOW DESIGN INFORMATION IS NOT COVERED IN THIS PLAN SET AND SHALL BE ADDRESSED BY OTHERS.

**ASD LOAD COMBINATIONS:**

- Strength (ASCE 2.4):
- D + (Lr or 0.7S)
  - D + 0.6W
  - D + 0.75 (Lr or 0.7S) + 0.75 (0.6W)
  - 0.6D + 0.6W
  - D + 0.7E<sub>v</sub> + 0.7E<sub>h</sub>
  - D + 0.525E<sub>v</sub> + 0.525E<sub>h</sub> + 0.1S
  - 0.6D - 0.7E<sub>v</sub> + 0.7E<sub>h</sub>
- Service:
- D + 0.5 (Lr or S) + W<sub>s</sub>

**SPECIAL INSPECTIONS:**

- PERIODIC INSPECTION OF POST INSTALLED CONCRETE ANCHORS PER ICC-ESR OR BUILDING OFFICIAL REQUIREMENTS
- NO ADDITIONAL SPECIAL INSPECTIONS ARE REQUIRED FOR THIS STRUCTURE UNLESS EXPLICITLY REQUIRED BY THE BUILDING OFFICIAL.



**29GA. - 3/4" RIB PROFILE**  
SCALE: 1" : 1'

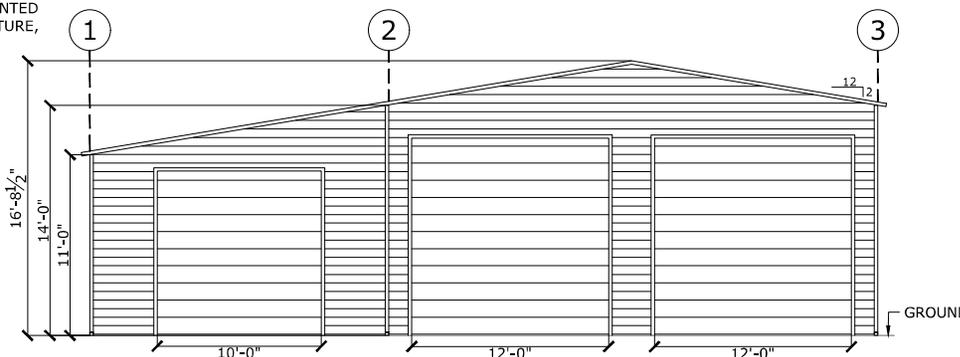
**DESIGN NOTES**

- THE INTENTION OF ELEVATIONS PROVIDED ON THIS SHEET IS TO INDICATE STRUCTURAL COMPONENTS, DIMENSIONS, AND BUILDING ORIENTATION ONLY.
- ARCHITECTURAL DESIGN REQUIREMENTS ARE NOT COVERED IN THIS PLAN SET. THESE DESIGN REQUIREMENTS SHALL BE ADDRESSED IN A SEPARATE ARCHITECTURAL SET BY RESPONSIBLE LICENSED PROFESSIONALS IN CHARGE, AS NEEDED.
- ALL EXT **WALL** SHEATHING SHALL BE: CLASS A RATED 29GA. 3/4" RIB HT - GALV OR PAINTED STEEL (FY=80 KSI) OR EQ.
- ALL EXT **ROOF** SHEATHING SHALL BE: CLASS A RATED 29GA. 3/4" RIB HT - GALV OR PAINTED STEEL (FY=80 KSI) OR EQ.
- LOC OF WALK-IN DOORS OR WINDOWS CAN BE DETERMINED ON SITE AS LONG AS THEY FALL BETWEEN BAYS (BETWEEN FULL FRAMES).
- PER IBC 1507.4.2 PROVIDE LAP SEALANTS PER MANUFACTURER'S INSTRUCTION AT ROOF SHEATHING LAPS.

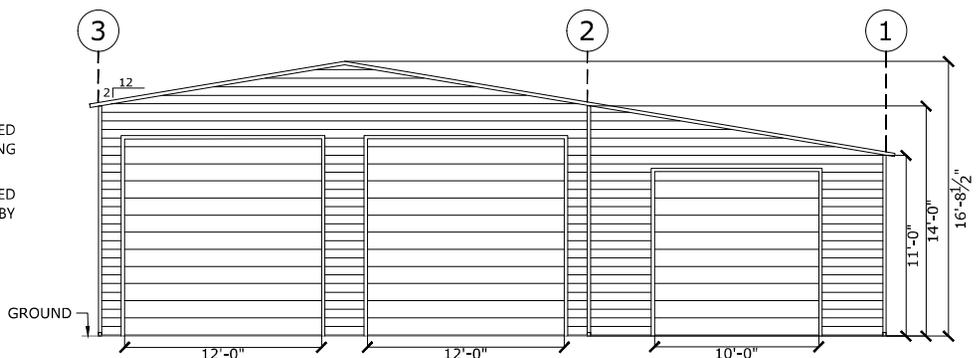
**SHEATHING FASTENER SCHEDULE**

LOCATION	CORNER PANEL	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" C/C	MIN. 1	4 1/2" C/C	9" C/C

FASTENER TYPE: #12-14 X 1" SELF-DRILL SCREWS (ESR-2196) W/ NEOPRENE/STEEL WASHER



**FRONT END WALL ELEVATION**  
SCALE: 3/16" : 1'



**REAR END WALL ELEVATION**  
SCALE: 3/16" : 1'

MEMBER PROPERTIES	
LOCATION	PROPERTY
MAIN BLDG. COLUMN POST	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
MAIN BLDG. WALL END POST	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
LEAN TO COLUMN POST	2 1/2" SQ. X 14GA TUBE
MAIN BLDG. ROOF MEMBER	2 1/2" SQ. X 14GA TUBE
LEAN TO ROOF MEMBER	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
BASE RAIL	2 1/2" SQ. X 14GA TUBE
KNEE BRACE	2 1/2" SQ. X 14GA TUBE
CONNECTOR SLEEVE	2 1/4" SQ. X 12GA TUBE
PURLINS	4" X 1" X 14GA HAT CHANNEL
DIAGONAL BRACE	2" SQ. X 12GA TUBE
HORIZONTAL BRACE	2" SQ. X 12GA TUBE



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PROJECT TITLE: PROJECT LOCATION:

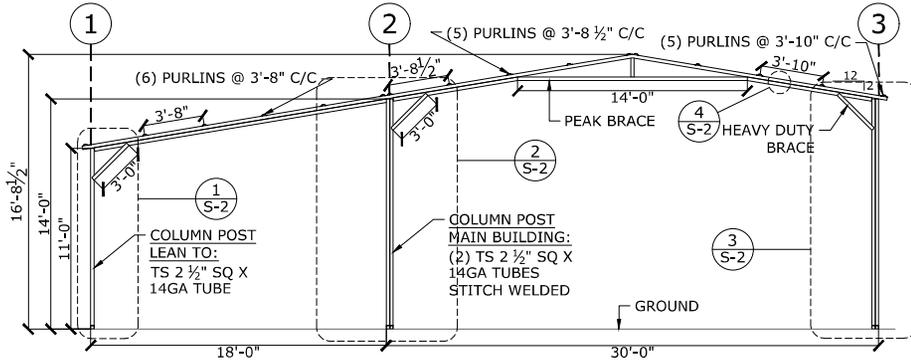
**NICHOLAS STEVENS**  
4585 PACE LN.,  
VACAVILLE, CA, 95688

MARK	REVISIONS	COMMENT	DATED
-	ISSUED FOR PERMIT & CONSTRUCTION		11/04/2022
△			

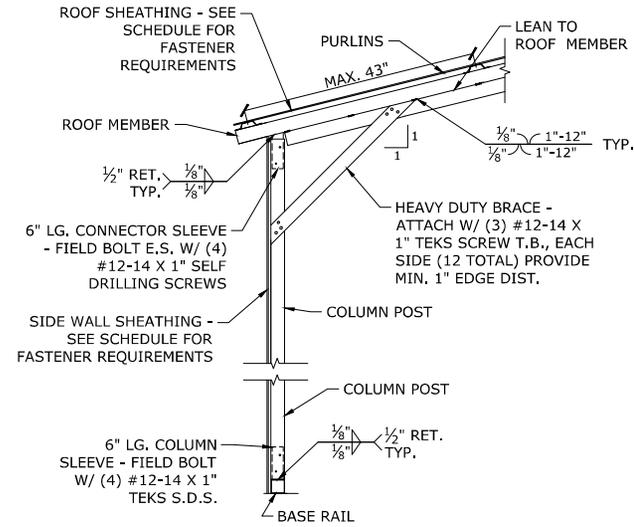
DRAWN BY	DATED
NAJIB GUEVARA	12/14/2023
CHECKED BY	DATED
NAJIB GUEVARA	12/14/2023

SHEET TITLE: SPECIFICATIONS END WALLS ELEVATIONS

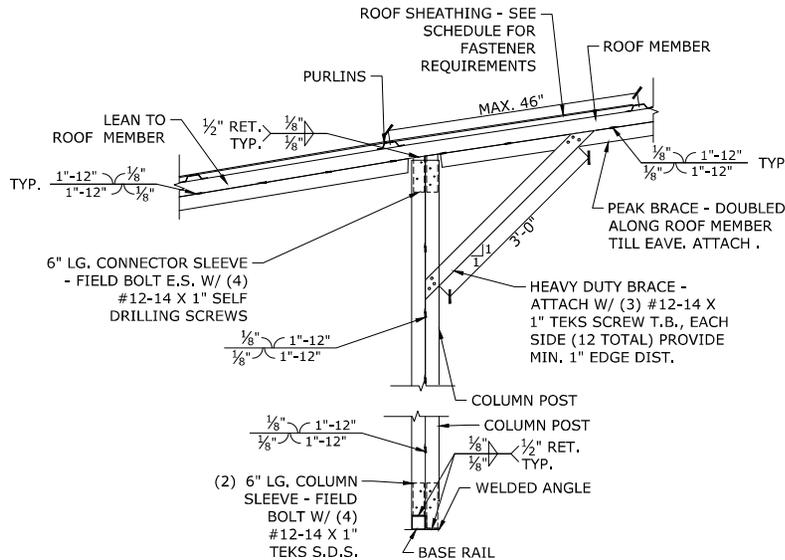
SHEET NUMBER: **S - 1**



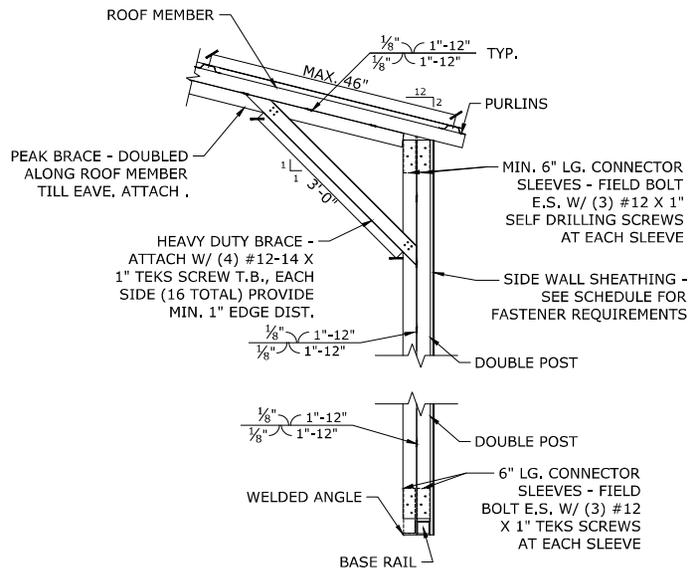
**FRAME SECTION**  
SCALE: 3/16" : 1'



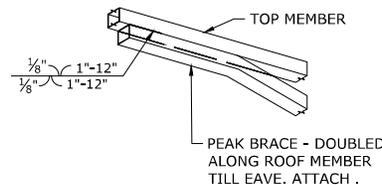
**1 LEAN TO FRAME DETAIL**  
SCALE: 3/4" : 1'



**2 FRAME DETAIL**  
SCALE: 3/4" : 1'



**3 MAIN BLDG. FRAME DETAIL**  
SCALE: 3/4" : 1'



**4 PEAK BRACE DETAIL**  
SCALE: 3/4" : 1'

METAL BUILDING MANUFACTURER



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SEAL BELOW



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PROJECT TITLE PROJECT LOCATION

**NICHOLAS STEVENS**  
4585 PACE LN.,  
VACAVILLE, CA, 95688

REVISIONS

MARK	COMMENT	DATED
-	ISSUED FOR PERMIT CONSTRUCTION	11/04/2022
△		

DRAWN BY: NANI GUEVARA DATED: 12/14/2023  
CHECKED BY: NANI GUEVARA DATED: 12/14/2023  
SHEET TITLE: FRAME SECTIONS & DETAILS  
SHEET NUMBER:

FRAME SECTIONS & DETAILS

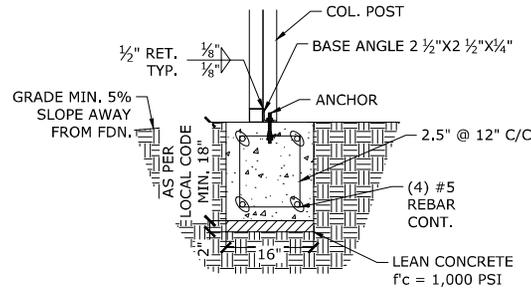
**S - 2**

**FOUNDATION NOTES:**

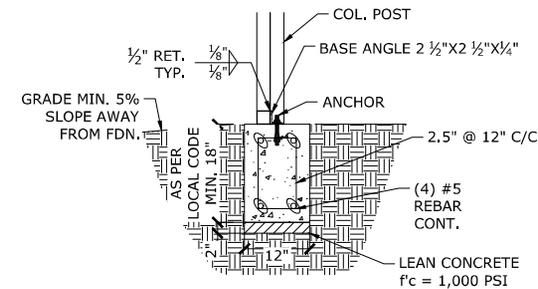
1. CONCRETE ANCHORS SHALL BE LOCATED AS SHOWN ON THE FOUNDATION PLAN WITH A MINIMUM OF (1) ANCHOR PER POST.
2. DEPTH OF FOOTINGS SHALL EXTEND INTO UNDISTURBED SOIL OR COMPACTED ENGINEERING FILL.
3. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
4. CONCRETE STRENGTH TO BE A MIN OF 3000 PSI @ 28 DAYS. SPECIAL INSPECTION IS NOT REQUIRED AS ALL CONCRETE FOUNDATION DESIGN IS BASED ON A MAX COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.

**REINFORCEMENT NOTES:**

1. REINFORCING STEEL: DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60, WITH A MINIMUM YIELD OF 60 KSI FOR ALL BARS UNLESS OTHERWISE INDICATED ON DRAWINGS.
2. CLEAR DISTANCE BETWEEN BARS SHALL BE NOT LESS THAN 1-1/2 TIMES THE MAXIMUM SIZE OF COARSE AGGREGATE UNLESS NOTED OTHERWISE.
3. CONCRETE PROTECTION OF REINFORCING SHALL BE NOT LESS THAN THE FOLLOWING:
  - 3.1. CONCRETE POURED AGAINST AND PERMANENTLY EXPOSED TO GROUND: 3"
  - 3.2. EXTERIOR FACE (EXPOSED TO WEATHER BUT NOT IN CONTACT WITH GROUND): 2"

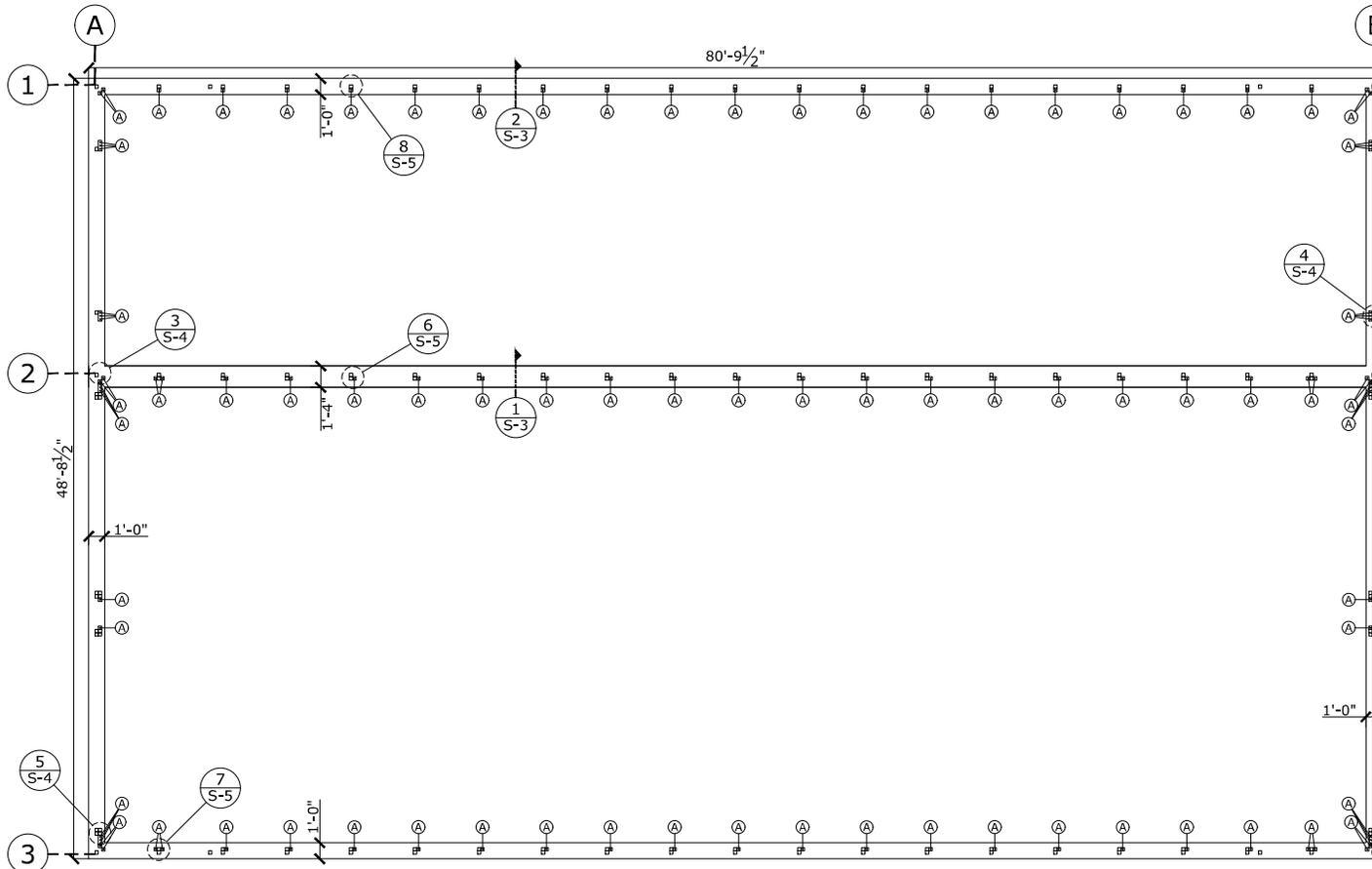


1 FOUNDATION DETAIL  
SCALE: 3/4" : 1'

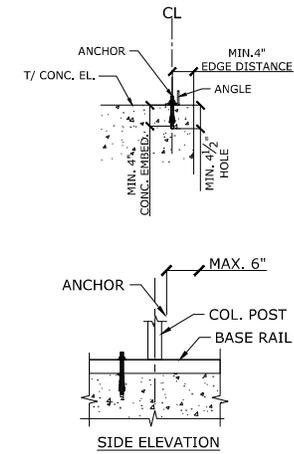


2 FOUNDATION DETAIL  
SCALE: 3/4" : 1'

CONCRETE ANCHORAGE	
ANCHOR	1/2" Ø X 7" LG. TITEN HD SCREW ANCHOR (PER ESR 2713)



FOUNDATION PLAN  
SCALE: 3/16" : 1'



ANCHORAGE DETAIL  
SCALE: 3/4" : 1'

METAL BUILDING MANUFACTURER



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PROJECT TITLE PROJECT LOCATION

**NICHOLAS STEVENS**  
4585 PACE LN.,  
VACAVILLE, CA, 95688

REVISIONS		
MARK	COMMENT	DATED
-	ISSUED FOR PERMIT A CONSTRUCTION	11/04/2022
△		

DRAWN BY	DATED
NAM GUEVARA	12/14/2023
CHECKED BY	DATED
YAM GUEVARA	12/14/2023

FOUNDATION PLAN

SHEET NUMBER

S - 3

METAL BUILDING MANUFACTURER



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SEAL BELOW



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PROJECT TITLE PROJECT LOCATION

**NICHOLAS STEVENS**  
4585 PACE LN.,  
VACAVILLE, CA, 95688

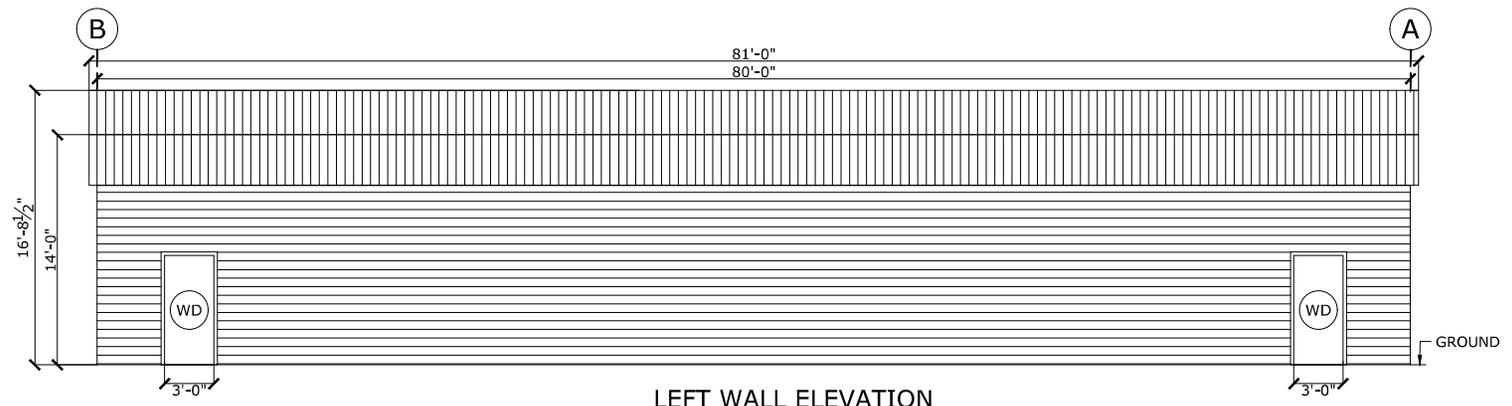
MARK	REVISIONS COMMENT	DATED
△	ISSUED FOR PERMIT CONSTRUCTION	11/04/2022

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 CHECKED BY: **RAM GUEVARA** DATED: 12/14/2023  
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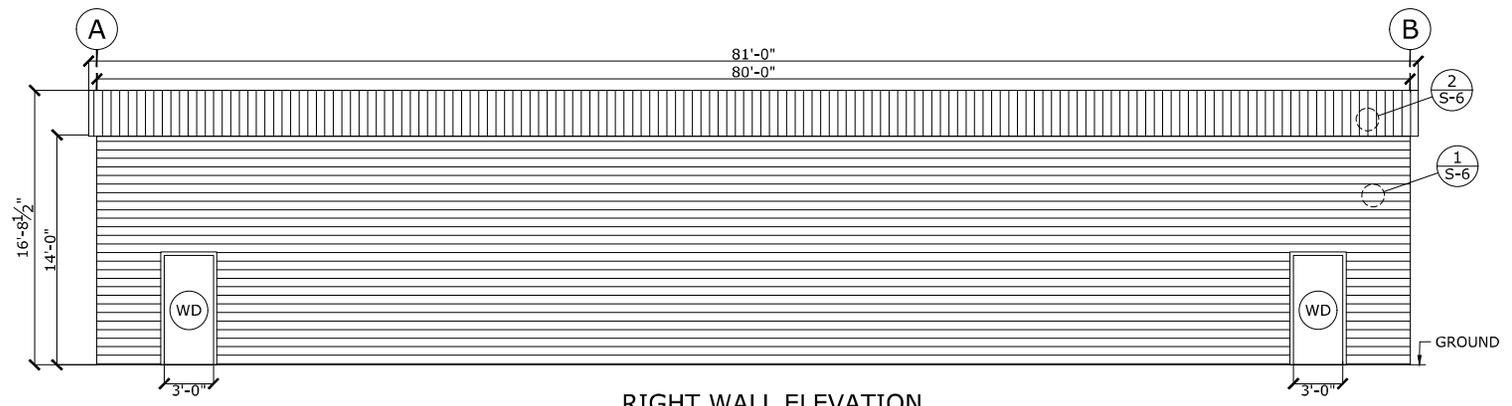
SIDE WALLS ELEVATIONS & DETAILS

SHEET NUMBER

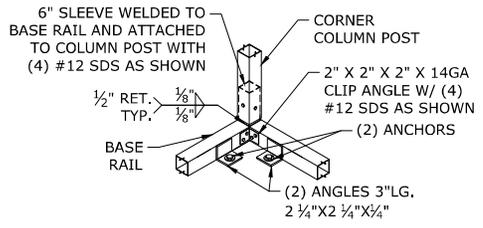
**S - 4**



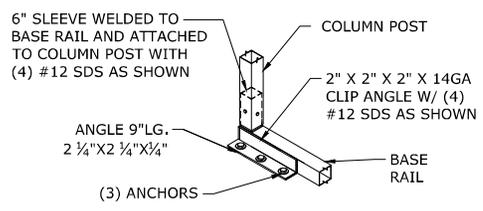
**LEFT WALL ELEVATION**  
SCALE: 3/16" : 1'



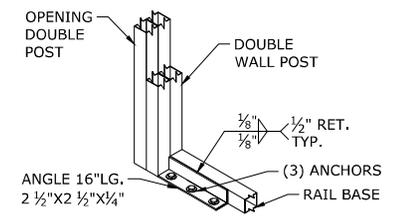
**RIGHT WALL ELEVATION**  
SCALE: 3/16" : 1'



**3 BASE DETAIL**  
SCALE: 3/4" : 1'



**4 BASE DETAIL**  
SCALE: 3/4" : 1'



**5 BASE DETAIL**  
SCALE: 3/4" : 1'

METAL BUILDING MANUFACTURER



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PROJECT TITLE PROJECT LOCATION

**NICHOLAS STEVENS**  
4585 PACE LN.,  
VACAVILLE, CA, 95688

REVISIONS

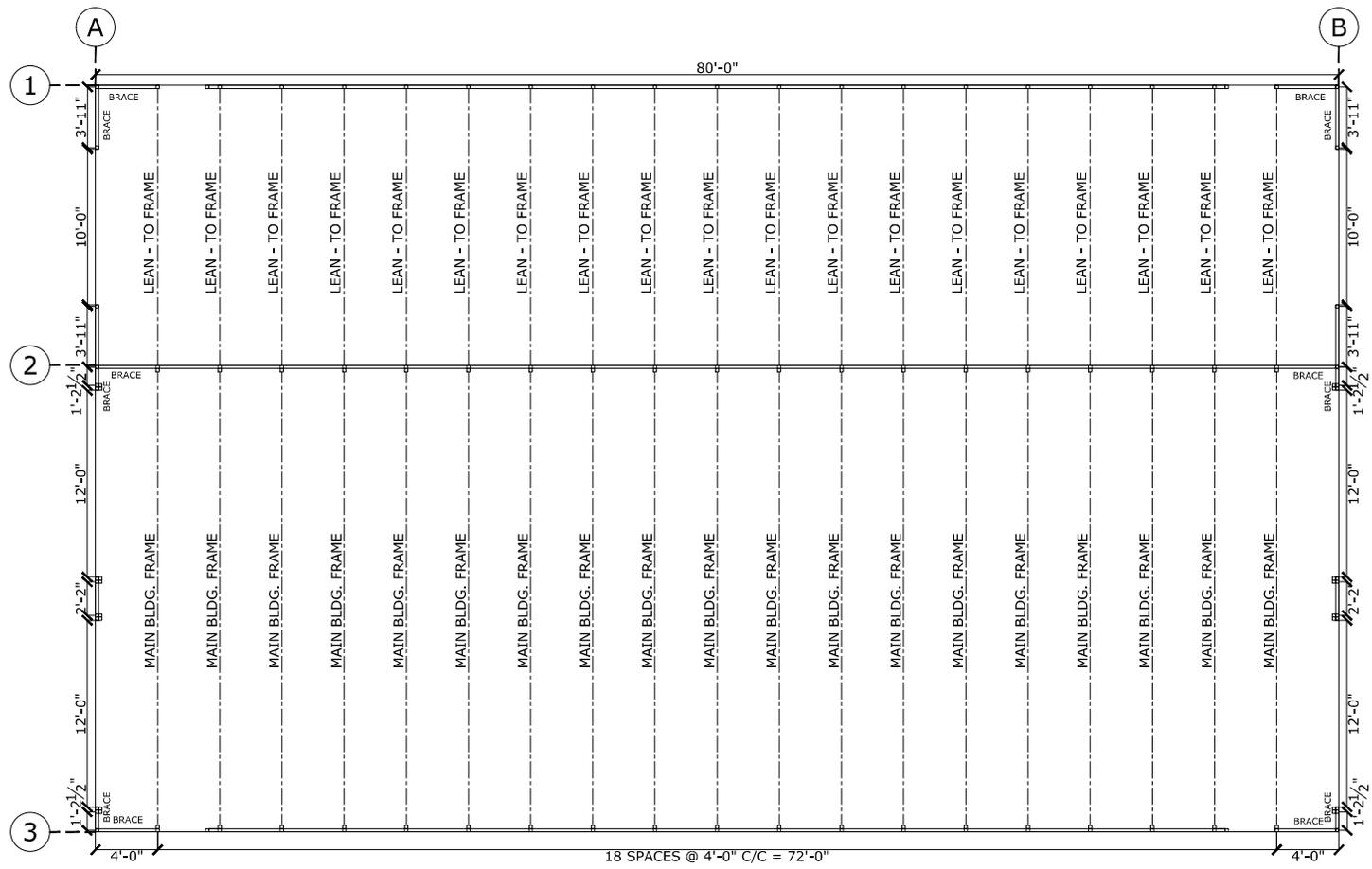
MARK	COMMENT	DATED
-	ISSUED FOR PERMIT A CONSTRUCTION	11/04/2022
△		

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CHECKED BY NANU GUEVARA	DATED 12/14/2023
SHEET TITLE	

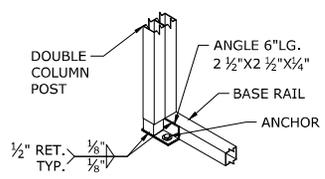
FRAME LAYOUT PLAN

SHEET NUMBER

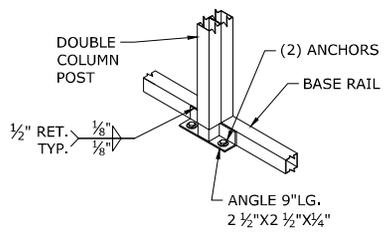
**S - 5**



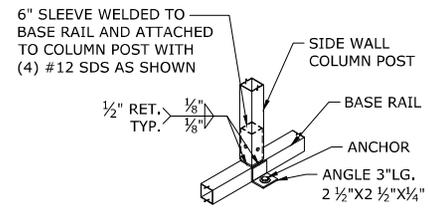
**FRAME LAYOUT PLAN**  
SCALE: 3/16" : 1'



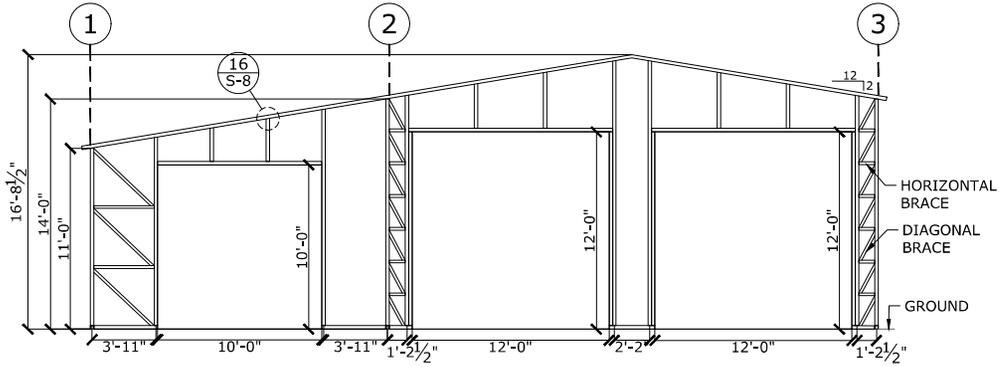
**6 BASE DETAIL**  
SCALE: 3/4" : 1'



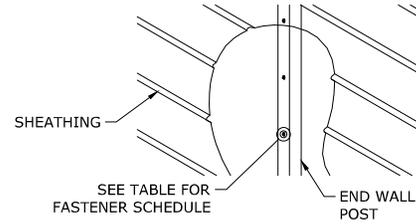
**7 BASE DETAIL**  
SCALE: 3/4" : 1'



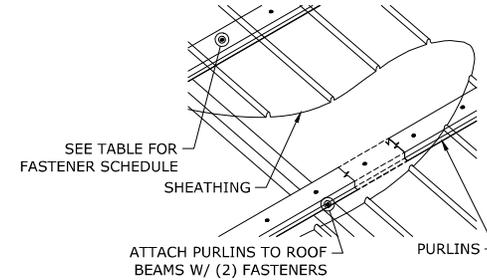
**8 BASE DETAIL**  
SCALE: 3/4" : 1'



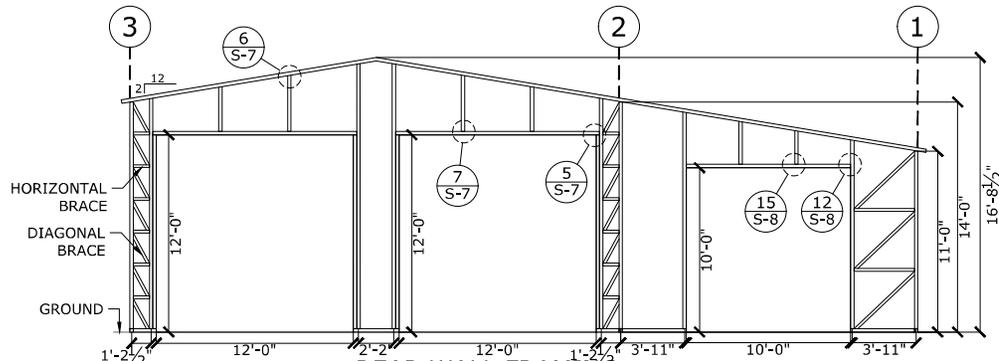
**FRONT WALL FRAMING**  
SCALE: 3/16" : 1'



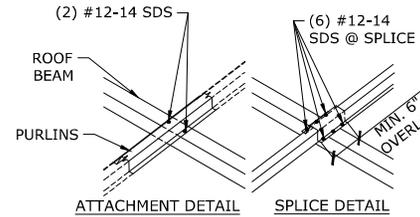
**1 WALL SHEATHING DETAIL**  
SCALE: 3/4" : 1'



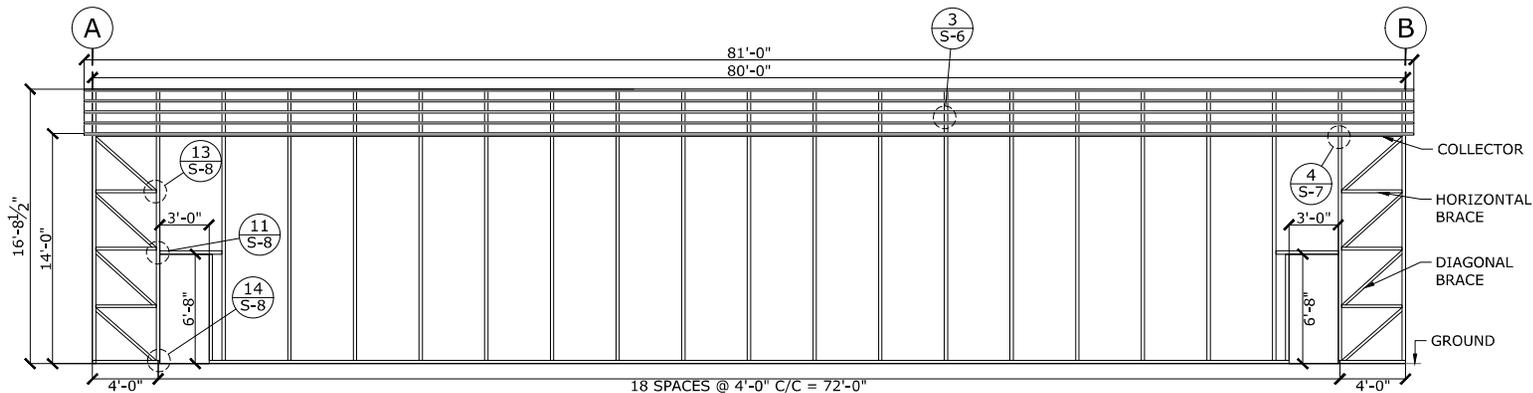
**2 ROOF SHEATHING DETAIL**  
SCALE: 3/4" : 1'



**REAR WALL FRAMING**  
SCALE: 3/16" : 1'



**3 PURLIN CONNECTION DETAIL**  
SCALE: 3/4" : 1'



**MAIN BLDG. RIGHT WALL FRAMING**  
SCALE: 3/16" : 1'

METAL BUILDING MANUFACTURER



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SEAL BELOW



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PROJECT TITLE PROJECT LOCATION

**NICHOLAS STEVENS**  
4585 PACE LN.,  
VACAVILLE, CA, 95688

REVISIONS

MARK	COMMENT	DATED
-	ISSUED FOR PERMIT & CONSTRUCTION	11/04/2022
△		

DRAWN BY	DATED
RAM GUERRA	12/14/2023
CHECKED BY	DATED
RAM GUERRA	12/14/2023

FRAME END ELEVATIONS DETAILS

SHEET NUMBER

**S - 6**

METAL BUILDING MANUFACTURER



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PROJECT TITLE PROJECT LOCATION

**NICHOLAS STEVENS**  
4585 PACE LN.,  
VACAVILLE, CA, 95688

REVISIONS

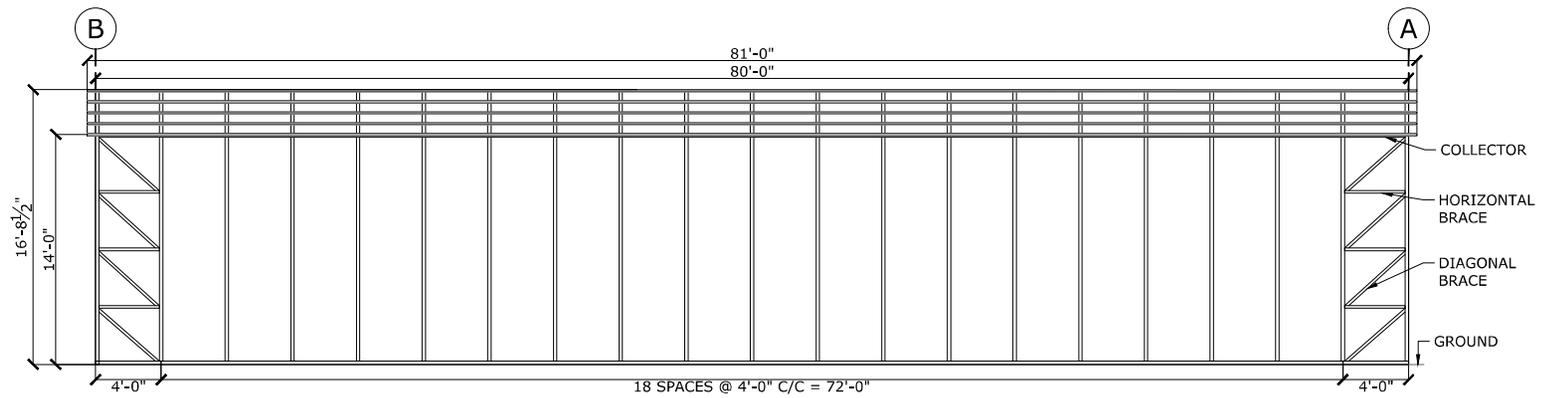
MARK	COMMENT	DATED
-	ISSUED FOR PERMIT & CONSTRUCTION	11/04/2022
△		

DRAWN BY	DATED
NAM GUEVARA	12/14/2023
CHECKED BY	DATED
NAM GUEVARA	12/14/2023
SHEET TITLE	

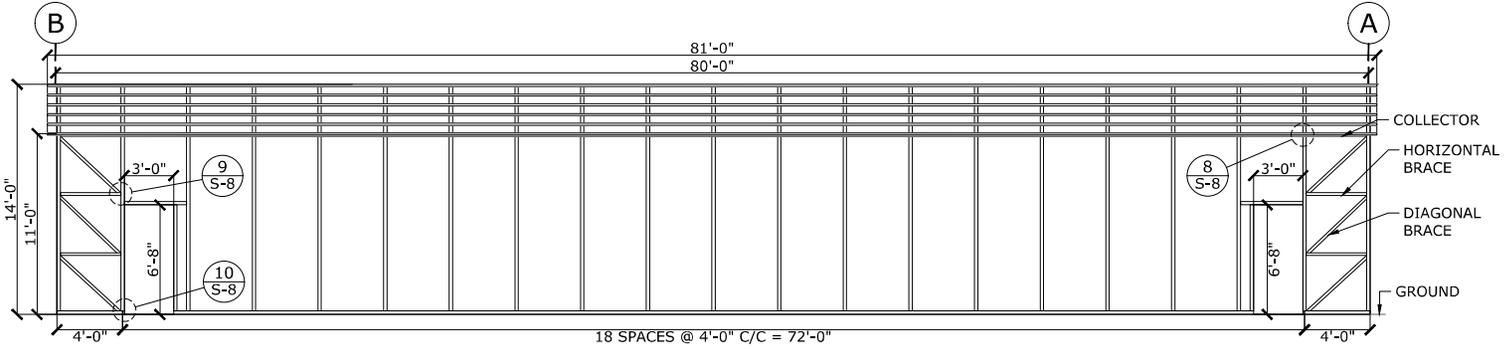
SIDE FRAME ELEVATIONS DETAILS

SHEET NUMBER

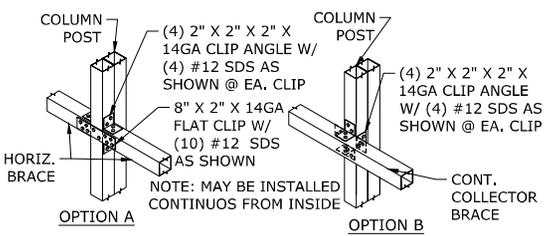
**S - 7**



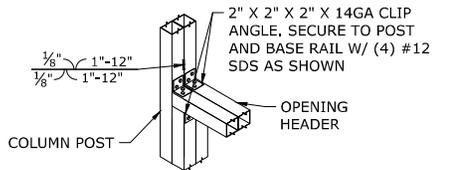
**MAIN BLDG. LEFT WALL FRAMING**  
SCALE: 3/16" : 1'



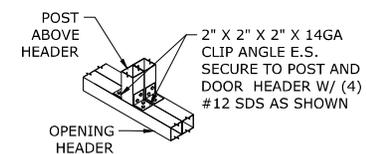
**LEAN TO LEFT WALL FRAMING**  
SCALE: 3/16" : 1'



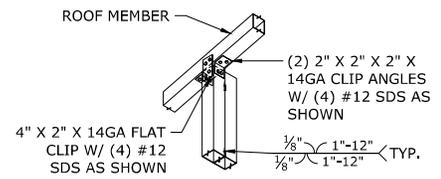
**4 COLLECTOR DETAIL**  
SCALE: 3/4" : 1'



**5 HEADER CONNECTION DETAIL**  
SCALE: 3/4" : 1'



**7 ABOVE HEADER DETAIL**  
SCALE: 3/4" : 1'



**6 ROOF MEMBER DETAIL**  
SCALE: 3/4" : 1'



900 SF

208 SF

100 sf

3,840 SF  
Proposed

**Existing: 2,072 sf.**  
**Proposed: 3,840 sf.**  
**Total = 5,912 sf.**

0106  
040  
140

864 SF

Pace Ln

4585 PACE LN

Pace Ln

SOLANO COUNTY RESOURCE MANAGEMENT

6049'

BUILDING DIVISION

SDM

DATE: 4/13/14

No electrical

Leach field

West to Timm Rd

Pace Lane Easement

Main House

Permits for this building only

Electric Pole

30' x 30' shed  
Gravel

30' 30'  
15'

20' 15'

15'

55'  
Cargo Cont

Existing Electric pole

Existing Electric Pole

Revised location

OFFICE COPY

Revised  
RECEIVED

APR 12 2019

COUNTY OF SOLANO  
RESOURCE MANAGEMENT

B2014-0022

Solano County Dept. of Resource Management Planning Services Division
Application No(s): B2014-0022
Date Approved: 4-5-19
Approved By: R
<input type="checkbox"/> Conditionally Approved

550'

311'

276'

3611'

Carport permitted by B2019-0022 with 10' setback. Relocation is required.



Unpermitted Shed: Approx. 100 sf. with *electrical connection*



**FOULK CIVIL ENGINEERING, INC.**  
CIVIL ENGINEERING - LAND SURVEYING  
4777 MANGELS BLVD.  
FAIRFIELD, CA 94534  
OFFICE (707) 864-0784  
FAX (707) 864-0793

Mr. Matt Tuggle  
Solano County Department of Public Works  
675 Texas Street, Suite 5500  
Fairfield, Ca 94533

March 8, 2024  
24-001

RE: 4585 Pace Lane (APN 106-040-140)

Dear Mr. Tuggle,

Our services are being provided on the above referenced property related to drainage and the County's policy for on-site detention. It is our understanding that the property has been developed with two homes as separate projects over the past few years without involvement by the Public Works Department. Recently the county has asked the owner to provide runoff detention storage on the property per said policy.

Historical tributary drainage areas include on and off-site areas west of and within to the subject parcel. The drainage path is a shallow stream that runs from west to east through the subject parcel. The stream flows through a 15" culvert on the east side of the property to the neighboring property (APN 106-290-290) where that owner has recently installed the 12-inch culvert and a concrete wall shown in the photo below. The top of concrete wall elevation is 138.5 feet.



Concrete Wall and Culverts

Downstream of the neighbor's culvert, the shallow stream continues east through his property and others before its ultimate outfall to Sweeney Creek.

The 12-inch culvert and concrete wall on the neighbor's property reduces the flow rate and results in on-site detention on the subject parcel as shown in the photos below which were taken on the morning of the February 4, 2024 during a significant storm event. The ponded surface elevation is at or a little above the 138.5 foot top of the concrete wall elevation.



February 4, 2024 - Looking Downstream East at Neighbors Property



February 4, 2024 - Looking Upstream West at Subject Property

The attached Detention Area Exhibit A, based on topographic survey, shows an area of inundation to the 138.5 foot top of wall elevation of approximately 25,530 square feet. The detention pond volume calculations based on contour areas, also shown on Exhibit A, shows the calculated detention volume of 18,635 cubic feet .

Exhibit B shows the impervious surface areas related to the development of the property to date at being approximately 56,568 square feet. A new shop building planned for the property will create an additional 1,440 square feet of impervious area bringing the total to 58,008 square feet. Based on the County's Policy for On-site Detention, as shown on exhibit A, 8,701 cubic feet of detention volume is required.

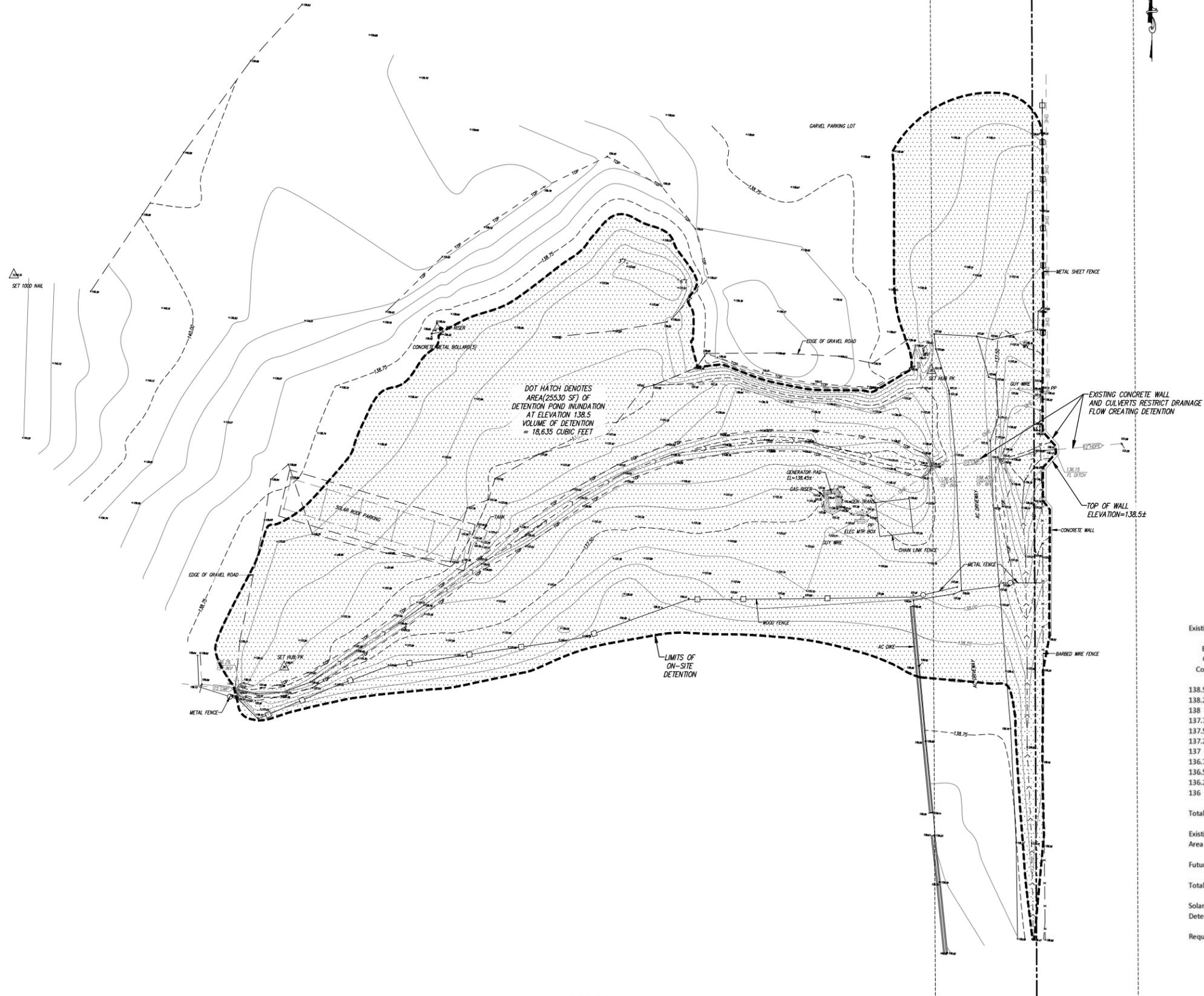
The resultant detention pond created by the recently constructed 12" culvert and concrete wall along the downstream neighbors westerly property line creates a detention pond on the subject parcel of approximately 18,635 cubic feet, exceeding the volume required by said County's policy by 9,934 cubic feet. Given that the resulting detained volume exceeds the County requirements we recommend that the County accept the current conditions and allow other project approvals to move forward.

I appreciate your attention on this issue. Please feel free to call me with any questions.

Very truly yours,



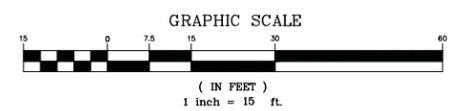
Brad Foulk, PE, PLS



Existing Detention Pond Volume Calculations

Existing Ground Contour (ft)	Contour Area(SF)	Incremental Volume(CF)
138.5	25530	
138.25	21288	5852.25
138	16889	4772.13
137.75	9261	3268.75
137.5	6051	1914.00
137.25	3825	1234.50
137	1120	618.13
136.75	2799	489.88
136.5	419	402.25
136.25	121	67.50
136	3	15.50
Total Storage Volume (CF)		18635
Existing Impervious Surface Area (SF)		56568
Future Shop Building Area (SF)		1440
Total Impervious Surface Area		58008
Solano County Formula For Determining Required Detention		Detention Volume (CF) = ((Impervious Area/1000)*150)
Required Detention Volume (CF)		8701

DESIGNED BY: BDF  
 DRAFTED BY: NRF  
 CHECKED BY: BDF  
 ISSUE DATE: 03/08/24



**FCE** FOULK CIVIL ENGINEERING, INC.  
 Civil Engineering Land Surveying Planning  
 4777 Mangels Boulevard, Fairfield, CA 94534  
 (707)864-0784 fax (707)864-0783 e-mail: foulke@gmail.com



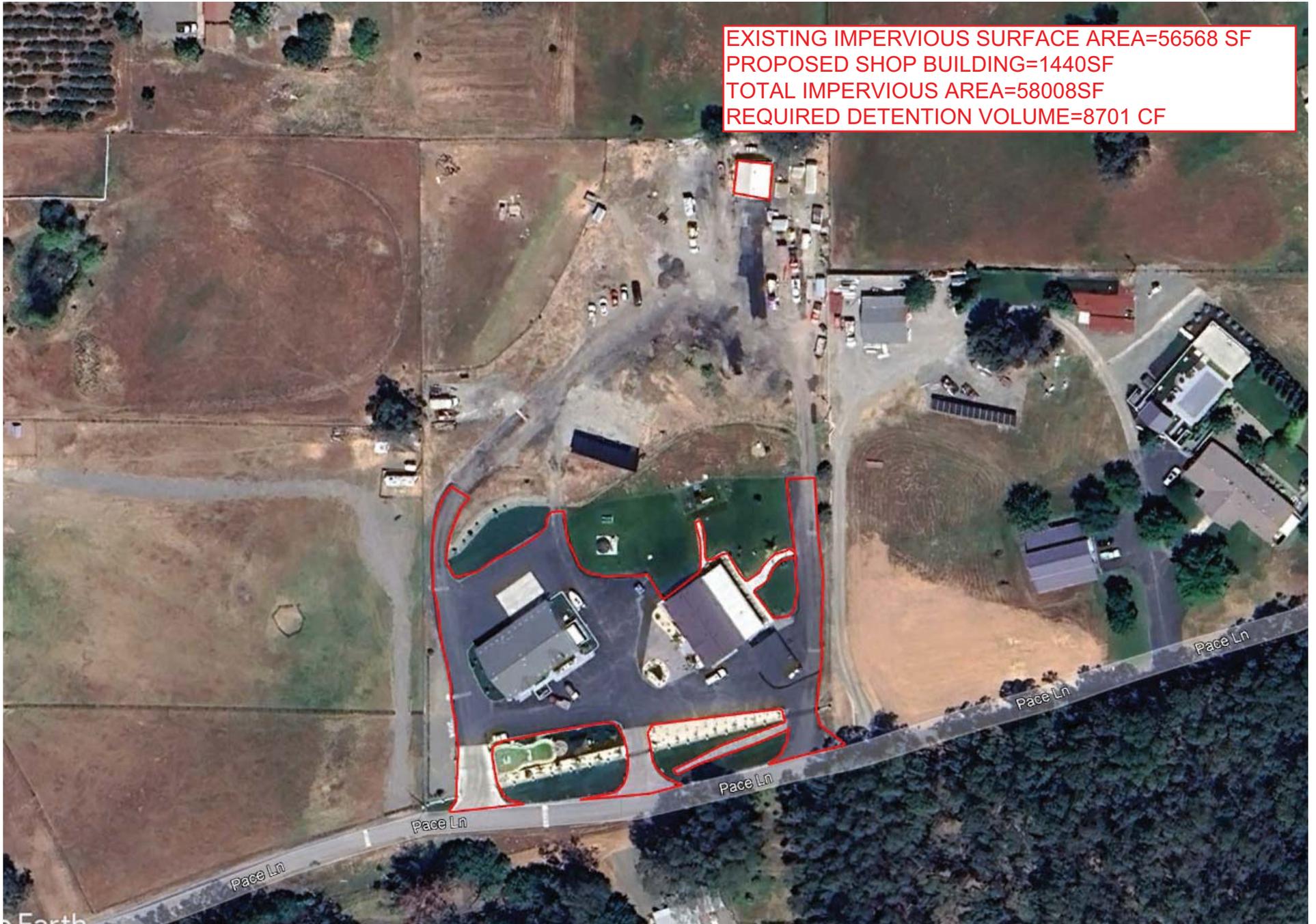
REV.	DATE	DESCRIPTION	BY	APPROVED

PROJECT: **LANDS OF STEVENS  
4585 PACE LANE  
SOLANO COUNTY, CA**

SHEET TITLE: **DETENTION POND AREA EXHIBIT A**

SCALE: 1"=15'    DWG: 24-001    JOB NO: 24-001    XREF: 24-001-TOPO

SHEET  
**1**  
OF 1



EXISTING IMPERVIOUS SURFACE AREA=56568 SF  
PROPOSED SHOP BUILDING=1440SF  
TOTAL IMPERVIOUS AREA=58008SF  
REQUIRED DETENTION VOLUME=8701 CF

**EXHIBIT B**  
**4585 PACE LANE, VACAVILLE**  
**IMPERVIOUS AREAS**

**Nick Stevens**  
4585 Pace Lane  
Vacaville, CA 95688

5/6/2024

**Solano County Planning Department**

**RE: MU-24-04**

The below co-owners of the private road easement on **Pace Lane** give American Asphalt and or Nick Stevens our consent to use the private road for business purposes.

1. Chris Chicorine  
[Signature]  
Print Name Signature

7841 Setter Lane  
Vacaville, CA 95688  
Address

2. Eric Mendoza  
[Signature]

7825 Setter Ln  
Vacaville, CA 95688

3. Steve Brown  
[Signature]

7816 SETTER LANE  
Vacaville, CA 95688

4. David Salszw  
[Signature]

7802 TIMM RD  
Vacaville, CA 95688

5. Ray Regsdale  
[Signature]

4599 Pace Lane  
Vacaville, CA 95688

6. \_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Vacaville, CA 95688

7. \_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Vacaville, CA 95688

Table 1: General Type II Cottage Industry Zoning Consistency

Standard	Requirement	Proposed
Employees	Three (3) max. not including resident family members	Two (2)
Parcel Size	Four (4) acre minimum	5 acres
Total area occupied by the cottage industry	3,000 sf max	2,400 sf.
Vehicles	Three (3) large vehicles* plus one (1) trailer per large vehicle max.	Two (2) Large Vehicles, two (2) trailers
Access	Direct access to a public road or access from an adequate private road with demonstrated active financial participation in a road maintenance agreement	Private road maintenance agreement (Attachment L)
Cottage Industries Per Parcel	One (1) max.	One (1)
Location of business-related equipment and activities	Inside of enclosed structures	Inside of barn
Noise, vibration, glare, fumes	None allowed in excess of what is customarily generated by single-family residential uses in the neighborhood	None

\*A large vehicle is defined as (GVWR) between 14,001 pounds and 26,000 pounds)

Table 2: Zoning Consistency for 3,840 Barn Setbacks

Setback	Standard	Proposed
Front	60' or on the rear 50% of the lot	Rear 50%
Side (each)	10'	160', 125'
Rear	10'	125'
Between structures	10' from any dwelling or main building	270'

DEPARTMENT OF RESOURCE MANAGEMENT



Planning Services Division

## NOTICE OF PUBLIC HEARING (Planning Commission)

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**NOTICE IS HEREBY GIVEN** that the Solano County Planning Commission will hold a PUBLIC HEARING to consider Use Permit Application No. U-24-07 by Nicholas Stevens of American Asphalt for a General Cottage Industry Type II Home Occupation, and to allow for accessory buildings totaling greater than 5,000 square feet on lots over 4 acres, in the Rural Residential (RR-5) zoning district, located at 4585 Pace Lane, approximately 2 miles north of the City of Vacaville, APN 0106040140. The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303. (Project Planner: Abigail Pipkin, 707-784-6765)

The hearing will be held on **Thursday, August 15, 2024, at 7:00 p.m.** in the Board of Supervisors Chambers, County Administration Center, 1<sup>st</sup> Floor, 675 Texas Street, Fairfield, California. Staff reports and associated materials will be available to the public approximately one week prior to the meeting at [www.solanocounty.com](http://www.solanocounty.com) under Departments; Resource Management; Boards, Commissions & Special Districts; Solano County Planning Commission.

The County of Solano does not discriminate against persons with disabilities. If you wish to participate in this meeting and you will require assistance in order to do so, please contact the Department of Resource Management at 707-784-6765 at least 24 hours in advance of the event to make reasonable arrangements to ensure accessibility to this meeting.

### **PUBLIC COMMENTS:**

In-Person: You may attend the public hearing at the time and location listed above and provide comments during the public speaking period. Phone: You may provide comments verbally from your phone by dialing **1-415-655-0001** and entering **Access Code 2632 666 6680**. Once entered in the meeting, you will be able to hear the meeting and will be called upon to speak during the public speaking period. Email/Mail: Written comments can be emailed to [PlanningCommission@SolanoCounty.com](mailto:PlanningCommission@SolanoCounty.com) or mailed to Resource Management, Planning Commission, 675 Texas Street, Suite 5500, Fairfield, CA 94533 and must be received by 10:00 a.m. the day of the meeting. Copies of written comments received will be provided to the Planning Commission and will become a part of the official record but will not be read aloud at the meeting.

If you challenge the proposed consideration in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

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**Daily Republic - legal ad/one time – Wednesday, July 31, 2024**  
**Vacaville Reporter - legal ad/one time – Wednesday, July 31, 2024**